

CALVERT'S GLEN HOMEOWNERS ASSOCIATION, INC.

ARCHITECTURAL CONTROL COMMITTEE

GENERAL GUIDELINES

A GUIDE FOR RESIDENTS ON THE PLANNING, DESIGN, AND
APPROVAL PROCESS FOR EXTERNAL ALTERATIONS

ESTABLISHED IN ACCORDANCE WITH THE DECLARATIONS
OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF
CALVERT'S GLEN HOMEOWNERS ASSOCIATION

APPROVED MARCH 28, 2017

Updated 2017

OBJECTIVES

This document is a guide for both the members of the Architectural Control Committee and also for property owners. For purposes of brevity in this document, ACC will represent the Architectural Control Committee. It is hoped that the booklet will increase the awareness of the encompassing nature of design and its importance to the quality of life of the community. The guidelines define the responsibilities which the homeowner must assume as part of their contribution to this principle. The guidelines are broad based and address those exterior improvements for which homeowners most commonly submit applications to the ACC, and are not intended to be all inclusive.

The specific objectives of the booklet are:

- o To set forth uniform guidelines to be used by the ACC in reviewing applications.
- o To illustrate basic design principles which will aid residents in developing exterior improvements and additions which are in harmony with the immediate neighborhood and the community as a whole.
- o To increase residents' awareness and understanding of the Covenants and Restrictions as they pertain to architectural considerations.
- o To describe the organizations and procedures involved with the architectural standards established by the Covenants and Restrictions.
- o To maintain and improve the quality of the living environment of Calvert's Glen.

INTRODUCTION

All residents benefit from the planning and design that is an important part of Calvert's Glen.

The Homeowners Association has been established as an organization which is comprehensive and flexible enough to respond to future determinants and necessities of community management. The role of the Association is to conserve and enhance the resources of the total community.

The Homeowners Association accomplishes these primary purposes in a number of ways. The Association, of which every lot owner is a member, is charged with preserving the value and use of open space and ensuring the retention of harmonious, though diverse, design qualities in the community. Its responsibility is the "maintenance, preservation and architectural control of residents' lots and common areas." Surveys of planned

communities show that providing this service is very important to residents and is reflected in the preservation of natural features and the enhancement of real estate values.

One of the most important functions of the Association is to maintain and enhance the aesthetic quality of the homes and their environs. The Association has the power to "regulate the external design, appearance and location of Calvert's Glen property and improvements thereon in such a manner as to preserve and to maintain a harmonious relationship among structures and the natural vegetation and topography." This power is vested in the Architectural Control Committee. This Committee is the body which establishes the architectural review function of the Association.

COVENANTS AND RESTRICTIONS

Basic authority for maintaining the quality of design in Calvert's Glen comes through the Covenants and Restrictions which are a part of every deed to property.

The ACC ensures that proposed exterior alterations comply with the stated objectives. This involves regular and systematic review of all applications for exterior alterations submitted by residents.

The intent of Covenant enforcement is to assure residents that the standards of design quality will be maintained. This, in turn, protects property values and enhances the community's overall environment.

Every Calvert's Glen owner should receive a copy of the Covenants and Restrictions at settlement. Since they are binding on all owners, they should be fully understood.

ACC

The Board of Directors (BOD) appoints an Architectural Control Committee every two years. To assist the Board in its selection of interested members to serve on the Committee, a Notice is circulated to all membership prior to the actual appointments. Appointments are made with an intent to obtain equal representation throughout the neighborhood in terms of Committee composition, as well as to achieve a broad range of expertise and talent.

1. **ARCHITECTURAL CONTROL COMMITTEE.** An Architectural Control Committee (ACC) consisting of three persons shall be responsible to the BOD.
2. **PURPOSE.** The ACC shall regulate the external design, appearance, and location of the properties and of improvements thereon in such a manner as (a) to promote those qualities in the environment which bring value to the properties, and (b) foster the attractiveness and functional utility of the

community as a place to live, including a harmonious relationship among structures, vegetation and topography.

3. **AUTHORITY.** The ACC may from time to time adopt and promulgate such rules and regulations regarding the form and content of plans and specifications to be submitted for approval...and establish such criteria relative to architectural styles or details, fences, colors, setbacks, materials or other matters relative to architectural control and the protection of the environment as it may consider necessary. The Architectural Guidelines presented herein are intended to assist the ACC and the Homeowner in the ongoing process of community design. They may be modified or supplemented from time to time on due notice to the Homeowner and are subject to approval of the Board of Directors.

APPLICATION PROCEDURES

Prior written approval by the ACC is required before any structures, or improvements are commenced or altered. No building, fence, wall or any exterior addition or change can be made until the complete plans and specifications showing the location, nature, shape, height, material, color, and type of construction shall have been submitted to and approved in writing by the ACC. A form for this purpose is included as a part of these Guidelines. Additional items which may be necessary include improvements, sketches of the design and construction details, color chips and dates of expected completion.

The review process is summarized below:

1. The Homeowner submits a completed application to the ACC which determines if it contains all required information. Applications are forwarded to Calvert's Glen Homeowners Association, Inc., P. O. Box 650444, Potomac Falls, VA 20165-0444.
2. If necessary, a member of the ACC views locations of proposed changes prior to the meeting.
3. The Homeowner is notified within thirty (30) days from date of postmark or hand-delivery date that the application has been approved, approved with conditions, or denied. The reasons for denial are cited.
4. Approved construction or alteration plans shall be initiated within six (6) months following the date of the ACC's approval, and completed within six (6) months following the date of commencement or within such other period as the Committee shall specify in its approval. In the event construction is not commenced within these limits, the approval shall lapse and application must again be made. In the event an alteration has been started but not completed within the time frame approved, the ACC

reserves the right to require timely completion or require the property be returned to its original state.

Any Homeowner may appeal the ACC decision to the Board of Directors and shall be entitled to a hearing before the Board. The BOD shall act on all appeals within thirty (30) days from the registered date of a written appeal. Decisions of the BOD shall be final.

In the event the ACC fails to approve or deny an application within thirty (30) days after a completed application has been received, approval will be deemed granted.

WHAT MUST HAVE ACC APPROVAL

No alteration to the exterior of any home including building, fence, walk pavement, or structure may be installed or altered (including change of color in some situations) without submission of complete plans and specifications to the ACC. These plans should indicate the extent of the proposed installation or modification. Only upon receipt of written authorization from the ACC can the project be commenced. (Refer to Article VI, Section 5 of the Covenants, Conditions and Restrictions for an explicit description.)

It is furthermore the responsibility of the homeowner to make certain that the proposed plans are carried out as approved. Any proposed changes must be approved in writing by the Chairman of the ACC.

MAKING APPLICATION TO THE ACC

Application request forms may be obtained from a member of the ACC, the Secretary of the Board of Directors or online at <http://www.calvertsglenhoa.com>. Completed applications can be mailed to: Calvert's Glen Homeowners Association, PO Box 65044, Potomac Falls, VA 20165-0444, ATTN: ACC or e-mailed to calvertsglen@gmail.com. A sample application request form is included with this document.

APPLICATION CONTENTS

For some homeowners the most difficult part of the application is adequately describing their request. If the request is not clear, the form incomplete, and/or the requested attachments omitted, if applicable, the application will be returned to the homeowner for his/her resubmission of a clarified application. The ACC may be contacted for assistance.

APPLICATION REQUEST FORM

In addition to completing the request form, make certain that all appropriate or requested attachments are provided, e.g.

SITE PLAN. A site plan is more easily prepared by submitting a copy of the property plat which you receive at settlement. Proposed changes should be indicated including dimensions and distances from adjacent properties and houses.

MATERIAL AND COLORS. Samples of the materials and colors to be used and an indication of the existing materials and colors may be required. In most cases, a statement that the proposed improvement is to be painted to match existing house trim or major house color is sufficient. Where materials and/or colors are compatible but different from those of the existing structures, samples or color chips should be submitted for clarity.

DRAWINGS AND PHOTOGRAPHS. A graphic description should be provided. Homeowners should not be intimidated by any shortcomings as draftsmen since a graphic description may be in the form of manufacturer's literature or photographs as well as freehand or mechanical drawings. The amount of detail should be consistent with the complexity of the proposal. Relationships of major architectural features, such as existing and proposed roof lines, window sizes and alignment, building heights, roof slopes, etc., should be shown as they affect the applicant's house.

THIRD PARTY COMMENTS. Written comments from neighbors and other residents about proposed changes may be sent to the ACC. These comments will be considered during the review process. The ACC, however, still makes its decisions based on the standards set forth in the Covenants and Restrictions and further described in this document.

ACC REVIEW CRITERIA

The ACC evaluates all submissions on the individual merits of application. Besides evaluation of the particular design proposal, this includes consideration of the characteristics of the housing type and the individual site, since what may be an acceptable design of an exterior in one instance may not be for another.

Design decisions made by the ACC in reviewing applications are not based on personal opinion or taste. Judgments of acceptable design are based on the following criteria which represent in more specific terms the general standards of the Covenants and Restrictions:

RELATION TO THE OPEN SPACE CONCEPT. Fencing, in particular, can have damaging effects on open space. Other factors, such as removal of trees, disruption of the natural topography, and changes in rate or direction of storm water run-off also adversely affect open space.

CONFORMANCE WITH COVENANTS. All applications are reviewed to confirm that the project is in conformance with the Covenants and Restrictions.

VALIDITY OF CONCEPT. The basic idea must be sound and appropriate to its surroundings.

DESIGN COMPATIBILITY. The proposed improvement must be compatible with the architectural characteristics of the applicant's house, adjoining houses and the neighborhood setting. Compatibility is defined as similarity in architectural style, quality of workmanship, similar use of materials, colors and construction details.

LOCATION AND IMPACT ON NEIGHBORS. The proposed alteration should relate favorably to the landscape, the existing structure and to the neighborhood. The primary concerns are access, view, sunlight, ventilation, and drainage. For example, fences may obstruct views, breezes, or access to neighboring property; decks or larger additions may cause unwanted shadows on an adjacent patio or infringe on a neighbor's privacy. When a proposed alteration has possible impact on adjacent properties, it is suggested that the applicant discuss the proposal with neighbors prior to making application to the ACC. It may be appropriate in some cases to submit neighbors' comments along with the ACC application.

SCALE. The size (in three dimensions) of the proposed alteration should relate well to adjacent structures and to the surroundings. For example, a large addition to a small house may be inappropriate.

COLOR. Color may be used to soften or intensify visual impact. Parts of the addition that are similar to the existing house, such as roofs, trim and siding, should be matching in color.

MATERIALS. Continuity is established by the use of the same or compatible materials as were used in the original house. For instance, vertical siding on the original house should be reflected in the addition. On the other hand, an addition with siding may be compatible with a brick house.

WORKMANSHIP. Workmanship is another standard which is applied to exterior alterations. The quality of work should be equal to or better than that of the surrounding area. Poor practices, besides causing the owner problems, can be visually objectionable to others. Poor workmanship can also create safety hazards. The Homeowners Association assumes no responsibility for the safety of new construction by virtue of designer workmanship.

TIMING. The majority of alterations will be built or installed by the residents themselves rather than a contractor. However, projects which remain uncompleted for a long period of time are visually objectionable and can be a nuisance and safety hazard for neighbors and the community. All applications must include estimated completion dates. If such period is considered unreasonable, the ACC may disapprove the application.

APPLICATION REQUEST APPROVALS

All Application Requests reviewed and approved by the ACC shall be processed accordingly and a letter of approval will be sent to the Applicant.

Preliminary Application (Optional)

- a. Major alterations represent a substantial undertaking in terms of cost and advance planning. Therefore, it is recommended that a preliminary application for conceptual approval be submitted.
- b. The preliminary application shall include as much information as practical but must include a site plan showing dimensions, elevations, if applicable, relation to the applicant's house, adjacent houses, and property lines.

Final Application

- a. It is suggested that the final application be a duplicate of those documents which are to be submitted to Loudoun County for a building permit, and should also include a description of colors, materials, and drawings or photographs, as required, to illustrate the relation of the alteration to the applicant's house and adjacent houses where necessary.
- b. Estimated completion date must be indicated.

APPLICATION REQUEST DENIALS

If the ACC ruling is for denial of an Application Request, the Applicant will be so apprised in writing and will have an opportunity to resubmit a revised application or submittal. If resubmittal is denied, the homeowner may submit a written appeal to the BOD.

MAINTENANCE

Property ownership includes the responsibility for maintenance of all structures which are a part of the property. This includes, but is not limited to, items such as mowing grass, trimming shrubbery, prevention of offensive and/or noxious odors associated with composting, removal of trash, snow removal from adjoining walkway, painting, exterior lighting, and structural maintenance. Maintenance affects the visual character and economic values of the property and neighborhood, and in some cases, safety. These issues can often be dealt with best at a neighborhood level. However, should gross negligence of property maintenance occur, the Homeowners Association will take the necessary action to correct the situation.

AMENDMENTS TO THE GUIDELINES

These guidelines may be amended. It is anticipated that the changes will be primarily additive and will not involve substantive changes of existing guidelines. However, these

too may be amended to reflect changed conditions or methods. The ACC will conduct a yearly evaluation of the guidelines.

GUIDELINES

The guidelines which follow address a broad range of exterior alterations for which homeowners frequently make application to the ACC. Since it is impossible to address each specific design condition, these guidelines are presented as "performance criteria" which define the principal factors which should be considered when developing a design solution. For example, guidelines define the limits of the size, location, quality of construction, materials, and color, based on intended use and relationship to adjoining properties and surrounding areas, rather than a particular construction detail or specific design alternatives.

The individual merits of each application are always considered by the ACC. The use of these guidelines should assist the homeowner in gaining timely ACC approval. The applicant who follows the guidelines should expect approval or rationale as to why the application was not approved within thirty (30) days of the postmark date of the application.

These guidelines should in no way restrict the homeowner in design of well thought out alternative approaches.

SPECIAL NOTE--COUNTY APPROVALS

Many items require County review and permits. It is the homeowner's responsibility to obtain all County approvals. Loudoun County authorities should be contacted prior to beginning any work in order to verify what procedures must be followed and to obtain any required permits. County approval does not preclude the need for prior ACC approval and vice versa. Changes to ACC approved plans resulting from county approval must be resubmitted to the ACC for final approval.

MAJOR EXTERIOR ALTERATIONS

Major building alterations include, but are not limited to, construction of driveways, carports, garages, porches, greenhouses, room, and other additions to a house.

- The proposed structure must be compatible with the original structure and in keeping with the lot size.
- The design of major alterations shall be compatible in scale, materials and color with the applicant's house and adjacent houses.
- The location of major alterations shall not impair the views or the amount of sunlight and natural ventilation reaching adjacent properties.

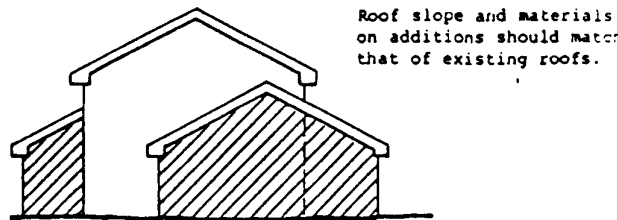
- New pitched roofs shall match the slope of the roof on the applicant's house.
- New windows, screening and doors shall match the type used in the existing house and should be located in a manner which will relate well with the location of exterior openings in the existing house.
- If changes in grade or other conditions which will affect drainage are anticipated, they must be indicated. Generally approval will be denied if adjoining properties are adversely affected by changes in drainage.
- Excess material and debris shall be immediately removed after completion of construction or during construction when possible.

GARAGES AND CARPORTS

Garage door design shall be compatible with overall house design. Carports will not be approved. Roof construction and ridge lines shall relate to those of the applicant's house.

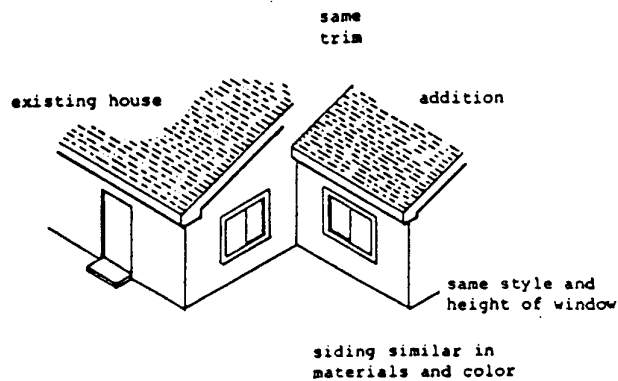
GREENHOUSES

Greenhouses shall be attached to the rear of the house. The greenhouse shall maintain a continuity of building lines, materials, etc., with the primary structure.



ADDITIONAL ROOMS

Major features of the house, such as vertical and horizontal lines, projections, and trim details, shall be reflected in the design of the addition.



DRIVEWAYS

Driveways cannot be enlarged beyond the original site plan. Generally, only hard stabilized surfaces, such as asphalt or concrete, will be approved.

CARE MUST BE EXERCISED IN ANY DRAINAGE CHANGES.

MINOR EXTERIOR ALTERATIONS

There are numerous exterior modifications of smaller scale than the previously noted items, which still require ACC approval. The same basic principles of compatibility of

scale, materials, and color apply. Consideration must also be given to impact on neighboring properties.

Those alterations requiring that the homeowner make application to the ACC include the following:

PERMANENT BARBECUES

Permanent barbecues shall not be a dominant feature on the landscape and shall be located so they will blend as much as possible with the natural background. Supplemental planting should be provided to soften the visual impact of the barbecue, particularly when little or no natural background is available.

CHIMNEYS AND METAL FIREPLACE FLUES

Metal flues which penetrate the roof shall be painted either flat black or to match the roof. Masonry chimneys and wood flue enclosures may be used when compatible in design, location and color with the existing house.

CLOTHESLINES

Clotheslines are not allowed.

DECKS

Decks are an extension of the house and thus have significant impact on its appearance. Decks may also affect adjacent properties. These two factors are weighted heavily in the review of applications.

- Modifications to existing decks shall provide continuity with the existing design of railings and trim.
- Deck configurations shall relate to the site plan outline and window and door openings of the house where possible.
- Approval of other related exterior modifications, such as new exterior door locations which are a part of the deck application, are contingent upon approval of the deck.
- Privacy of adjacent homes shall be considered when planning decks.

Material and Color

Material used for the visible portion of the deck shall be wood or a “wood-like” material (ex: Trex, TimberTech, ChoiceDek, etc.). Wood may be a natural finish or stained or waterproofed in a color compatible with the color scheme used on the house. Composite deck colors (wood-like material) must be approved by the ACC. Decks shall not be painted.

Location

Decks are to be located in the rear of the house.

Application for Deck

Application to the ACC should include:

- a. Site plan showing dimensions and relation to applicant's house, adjacent houses, and property lines.
- b. Description of materials.
- c. Sketch or photograph showing, in elevation or perspective, the relation to the applicant's house and adjacent houses.
- d. Details of railings, posts, stairs, steps, benches, and other details as required to clearly describe proposal.
- e. Details of changes to windows and doors if applicable.
- f. Estimated completion date.

DOG HOUSES

Dog houses will not be approved.

SWING/GYM/PLAY STRUCTURE AS PERMANENT STRUCTURES

Structures for the purpose of providing entertainment, exercise or enjoyment of the children may be built on the property unattached to the house. All permanent in nature, swing/gym/play structures must be constructed of pressure-treated wood and be left in the natural color of the wood and must be located to the rear of the property. Overall height cannot exceed ten (10) feet tall. Structure may include an overhead deck above swing/play area, but must include proper railings. Such structures are not to be enclosed or used for storage.

SHEDS

A shed is defined as a roofed, four or more sided structure with or without a door which is primarily enclosed. No sheds of any kind may be constructed or placed unattached from the house. No prefabricated structures will be approved.

BASKETBALL GOALS

Only commercially made portable basketball goals can be erected or placed forward of the front plane of the house. Playtime is limited to the hours of 9:00am – 9:00pm. Goals may not be placed on any roads or any open space property. The roads in Calvert's Glen are under the jurisdiction of the Virginia Department of Transportation (VDOT) and, therefore, any complaints regarding the placement of goals on any road should be addressed to VDOT and **not** the Association.

ENTRANCE WALKS

The pavement composition for a walk leading to a building entrance shall be in keeping with the materials in adjacent walks and/or the architecture of the building it will serve. Where repair of the existing pavement is required, the new patched area shall match the adjacent pavement material and color and be installed to form a smooth continuous surface which will allow the storm water to runoff without ponding.

FENCING

Fencing is used to separate property, provide security and visual privacy, or architecturally define space. In achieving any one of these goals, a barrier is created which has both visual and physical impact on the boundaries of common land and property of adjacent homeowners. Careful consideration should be given to the basic fencing concept and the manner in which the concept is executed.

Homeowners should remember that there are alternatives to fencing that may achieve the needed results. For example, short segments of fence may be combined with landscaping to achieve the desired amount of privacy without a severe impact on neighbors or natural open space. Use of plant material alone can be an alternative.

- Fence height, including decorations, should not be greater than is necessary for its intended use since fencing can have a significant impact on adjoining properties and community open space.
- The height and design of fences should generally conform to other fencing in the area.
- The degree of "openness" of fences depends on its use. Remember that solid fences, which may be desirable for achieving privacy, may also provide unwanted shadows, loss of natural ventilation and views.
- Fencing should relate to the principal architectural feature of the house in design, location, and the way in which it connects to the existing house.
- Planting may often be integrated with all fencing schemes in order to soften the visual impact.
- The tops of most fences, except certain low, open types, such as split-rail, should be maintained horizontally.
- Gates should match fencing in design, material and height.
- Chain-link fencing and barbed-wire fences are not acceptable. Woven-plastic and/or woven-wire fences are generally unacceptable.

- Fencing which is finished on one side only must be constructed with the finished side facing out.

FENCE TYPES

Fencing should be compatible with the applicant's house, but it should also be appropriate for its intended purpose. For example, a "privacy fence" has different design considerations than a fence which is used to define property boundaries. Listed below are suggestions which may be helpful in selecting a fence style related to the primary fencing needs.

Property Separation - Where the homeowner's goal is property separation but not privacy, an "open" fence may be appropriate. Open fences, such as split rail, provide visual definition of property boundaries without obstructing views. This type of fencing is most appropriate for larger land areas and therefore is applicable primarily to detached houses.

Security - Many homeowners wish to restrict children or pets from their property. Security fences where privacy is not a factor can be the "open" type. Where security is desired for safety reasons, such as around swimming pools, vertical fencing of sufficient height would be appropriate for larger land areas and therefore is applicable.

Privacy - While fencing can be used to create private outdoor spaces, homeowners should also consider ventilation. A private space with no cooling breeze on a summer afternoon can be unpleasant. To avoid this, the homeowner might choose from several fencing designs depending on the amount of privacy desired. A spaced-board fence is "semi-open" and allows natural ventilation while affording varying degrees of privacy depending on the size of the boards and on the spaces between them. More privacy may be obtained, while still allowing ventilation, by the use of a staggered-board fence.

Height - The height of a fence, the topography of the land, and the relative distance of an observer affect both the amount of privacy afforded by a fence and its degree of visual impact.

Location

Most fencing involves boundary line consideration to some degree. Therefore, applications must show the proposed fence's exact relationship with the property line. Generally, no fence will be installed forward of the rear corners of the house.

An applicant's fence shall be rectangular from the back corners of the house unless approved by the ACC.

Extending privacy fencing farther from the house does not necessarily increase privacy, and can adversely increase the impact on common open space. Therefore, the extension of privacy fencing from the face of the house should be carefully considered in light of its intended purpose.

Materials and Color

Fencing should be of natural wood materials. In all cases, fencing should be allowed to weather naturally.

Masonry may be an integral part of a fencing scheme. Masonry should match the masonry used in the applicant's house, but may not alter existing drainage patterns.

Wire mesh screening used as part of an "open fence" will not be considered.

Generally, fencing shall be restricted to rear yard locations. Particular attention should be given to the amount of adjacent open space, height, and compatibility of materials of the existing house and other houses in the immediate vicinity.

EXTERIOR LIGHTING

No exterior lighting shall be directed outside the applicant's property. Light fixtures which are proposed in place of the original fixtures should be compatible in style and scale with the applicant's house.

In order to eliminate glare, light fixtures shall be all one color. Also, exterior light fixtures must have shielded, or "cut-off" luminaries.

EXTERIOR PAINTING

Repainting or staining to match original colors is not subject to the approval process. Color changes apply not only to house siding, but also to doors, shutters, trim, roofing, and other appurtenant structures. Changes of exterior color for houses must be approved by the ACC.

PATIOS AND GROUND LEVEL DECKS

Patios provide a means for ground level extensions of indoor space with less visual impact than elevated decks. When patio schemes include other exterior changes such as fencing, decks, lights, etc., other appropriate sections of these guidelines should be consulted, as required, prior to application.

Materials and Colors

Materials should have natural weathering qualities such as brick, wood, stone, and concrete.

Drainage

If changes in grade or other conditions which will affect drainage are anticipated, they must be indicated on the application. Generally, approval will be denied if adjoining properties are adversely affected by changes in drainage.

STORAGE AREA

Cluttering objects such as garden tools, trash cans, bicycles, etc., may be concealed by enclosing an area under a deck.

SWIMMING POOLS

This section of the guidelines is oriented toward all pools. Above-ground swimming pools will not be permitted.

The impact of required security fencing on open space can be significant and must be carefully related to adjacent property. In addition, the homeowner must consider safety within the pool area as well as the impact of increased noise levels on adjacent properties.

It is suggested that proposed swimming pools be discussed with adjacent property owners.

Location

Pools shall be located in rear yards.

Fencing

The pool and any mechanical equipment must be protected by a fence.

Fences and gates should conform to that portion of these guidelines pertaining to fencing.

Approval of the fence will be considered a part of the swimming pool application, and will be contingent upon completion of the pool.

WOODPILES

Although not subject to the approval process, woodpiles should be restricted to the backyard, and neatly stacked. Consideration should be given to the effect which woodpiles will have on views from neighboring houses.

GARDENS

Vegetable gardens used solely for consumption by the single family are restricted to the rear of the house. No commercial plantings are allowed.

SOLAR ENERGY DEVICES

Solar Panels are allowed but the location must be reviewed and approved by the ACC. Location and placement will be allowed as required for the homeowner to install a system size that is up to and within the limitations of the current net metering code.

ANTENNAS

Satellite dish antennas and other antennas designed to receive video programming signals from direct broadcast satellites, wireless cable providers and/or television broadcast stations shall be in compliance with the Federal Communication Commission's Over-the-Air Reception Devices Rule (C.F.R. Section 1.4000). No other exterior antennas, other than those covered by the aforementioned rule, shall be erected or permitted on any building, lot or common area of the community.

The Association reserves the right to restrict placement of such antennas but acknowledges that such restrictions cannot operate to preclude reception of an acceptable quality signal or impose unreasonable delay or expense upon the homeowner. The Association also reserves the right to enforce such restrictions, again provided that the restrictions do not preclude reception of an acceptable quality signal or impose unreasonable delay or expense upon the homeowner.

Direct Broadcast Satellite (DBS) antennas (more commonly referred to as "satellite dish" antennas) shall be placed in a visually unobtrusive location.

In order to remain consistent with the Federal Communication Commission's Over-the-Air Reception Devices Rule, the Association has a notification form that must be submitted prior to the installation of an antenna. The title of this form is "Homeowner Notification Form for Satellite Dish Installation." A copy of this form is placed directly behind the last page of this section.

Other types of antennas not covered by the Telecommunications Act of 1996 will require the submission of an application to the ACC.

ATTIC VENTILATORS

Gable mounted exhaust fans or below roof peak at rear of house. In either case, ventilators shall not be visible from the front of the house.

MAILBOXES

Usual and customary - anything other than black on natural finish or painted dark brown 4" x 4" type post must be submitted for approval. Other types such as mailboxes with nature scenes may be allowed, however in no case shall any mailbox be allowed to become a dominate part of the landscape. No oversized mailboxes will be allowed.

LAWN ORNAMENTS

The Homeowners Association reserves the right to prohibit any lawn decoration which is not compatible with existing structures.